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Radon Procedure



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Purpose

The purpose of this Procedure is to implement an operational management process that will ensure the identification of properties where levels of radon gas concentrations reach unacceptable levels. A risk assessment approach undertaken, following the process of direct measurement of radon levels at different locations within a property. Where results indicate that excessive levels are in existence, a record of these will be kept along with any control measures.

This procedure incorporates the Public Health England 3-stage measuring Radon guidance for landlords approach, as follows:

1. **Check:** Find out if any of your housing stock is in a radon affected area.
2. **Measure:** Properties in a radon affected area should be tested.
3. **Act:** If high radon levels are found, they should be reduced through simple building works.

Scope

This procedure provides guidance to all staff, contractors and customers involved in the operational delivery of ateb Group's Radon Policy.

The regulations that directly or indirectly place duties on employers and landlords in relation to the management of Radon Gas are summarised as follows.

The Health & Safety at Work etc Act 1974 (HSW)

Requires employers to conduct their work in such a way that their employees will not be exposed to health and safety risks, and to provide information to other people about their workplace which might affect their health and safety. Section 3 of the HSW Act contains general duties on employers and the self-employed in respect of people other than their own employees. Section 4 contains general duties for anyone who has control, to any extent, over a workplace.

The Management of Health & Safety at Work Regulations 1999

Requires employers and self-employed people to assess the risks to the health and safety of themselves, employees, and people not in their employment, arising out of or in connection with the conduct of their business – and to make appropriate arrangements for protecting those people's health and safety. Any assessment made for the purposes of the Radon will not need to be repeated for the Management Regulations.

Housing Act 2004

Landlords have a responsibility to their tenants under Duty of Care and the Housing Act to provide a safe home. Radon is identified as a potential hazard in dwellings in the Housing Act 2004.

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Building Regulations 2010

The Building Regulations require 'basic' radon protection to be installed in new properties located in areas where it is estimated that 3% or more properties will be affected by high levels of radon.

Ionising Radiation Regs 1999

Ensuring that exposure to ionising radiation arising from work activities, whether man made or natural radiation and from external radiation or internal radiation, is kept as low as reasonably practicable.

Renting Homes Act 2016

Requires landlords to ensure the property is fit for human habitation at the time of occupation and for the duration of the tenancy contract.

Definitions

- **Radon** – a chemical element that is a radioactive gas formed when radium decays and found naturally in rock and soil.
- **Becquerel unit** - abbreviated Bq, is a radon level measurement unit.
- **Sharepoint** – Microsoft Sharepoint is used by businesses as a secure place to store, organise, share, and access information from any device.
- **Radon Council** – The self-regulatory body for the radon protection industry incorporating an Approved List of Contractors offering advice and services involving remedial work for radon gas.

Responsibilities

ateb Group's **Radon Policy** details the management responsibilities that apply to the leadership groups and role profiles of staff involved in the management of Radon gas in all property owned, occupied, administered, or operated by ateb Group.

In addition, the following key roles also have specific responsibilities for the operational delivery of the Radon Policy and this procedure.

Asset Management Team

Oversight of the Radon testing data in Sharepoint and approval of specifications for radon reduction remedial work measures.

Compliance Team

Day to day oversight of the Radon testing data in Sharepoint, reporting compliance and creating and monitoring future test and re-test appointment dates in Propeller. Additionally, the Compliance Team will liaise with contractors, regarding customer

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access issues, and assist with access where possible until escalation of cases to the Tenancy & Community Management Team is required.

Planned Maintenance & Reactive Maintenance Delivery Teams

The delivery and on-site monitoring of radon reduction remedial work measures and approved contractors. Additionally, providing completion and commissioning certification to the Asset Management and Compliance Team.

Contractors

To provide radon testing and remedial works in line with ateb Group's contract specifications, Radon Policy, Procedure and Contractor Code of Conduct; and to follow the appropriate legislative and best practice guidance requirements.

Customers

To provide reasonable access to their homes where necessary and to keep radon test kit equipment safe, free from damage, not tampered with and to report any issues to ateb.

Procedure

Ateb Group have developed the following processes for managing the testing procedure, action levels, remedial works and ongoing testing of its properties (appendix 1 & 2). The Radon testing data is currently kept in a Sharepoint location and is managed by the Asset Management & Compliance Team, who will also verify data input by ateb's Radon Council approved contractor partner.

Check

A Radon Risk Report will be procured from Public Health England which will provide details of any homes that are in a radon affected area. The radon concentration will then need to be measured in all new and existing properties that have a maximum radon potential of >1% (see appendix 1 – Test Data Collection Process).

Measure

Ateb Group will appoint a Radon Council approved contractor partner to measure and record the radon levels in all new and existing properties, that have a maximum radon potential of >1%, in line with Public Health England guidance, and provide recommendations for remedial works to reduce radon levels as low as possible (see appendix 1 – Test Data Collection Process and appendix 2 – Test Data Actions Process).

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Act

The Asset Management & Compliance Team will verify and approve any remedial works recommended for reducing radon levels, in line with Public Health England guidance, and arrange the re-testing of properties to assess the effectiveness of remedial works (see appendix 1 – Test Data Collection Process and appendix 2 – Test Data Actions Process).

In line with ateb Group’s Radon Policy, the Executive Director of Development will ensure that all new build properties conform to the requirements of the Building Regulations, in relation to radon, and ensure that the Development Team notifies the Asset Management and Compliance Teams, and provide any supporting documentation and/or certification, so that all new properties can be added to the Radon Register.

The Asset Management and Compliance Teams will then update the Radon Register and schedule 10-year test programme dates for each new build property.

Review

3-Yearly review or in line with legislation, policy or programme changes.

References

- The Health & Safety at Work etc Act 1974 (HSW)
- The Management of Health & Safety at Work Regulations 1999
- Housing Act 2004
- Building Regulations 2010
- Ionising Radiation Regs 1999
- Renting Homes Act 2016

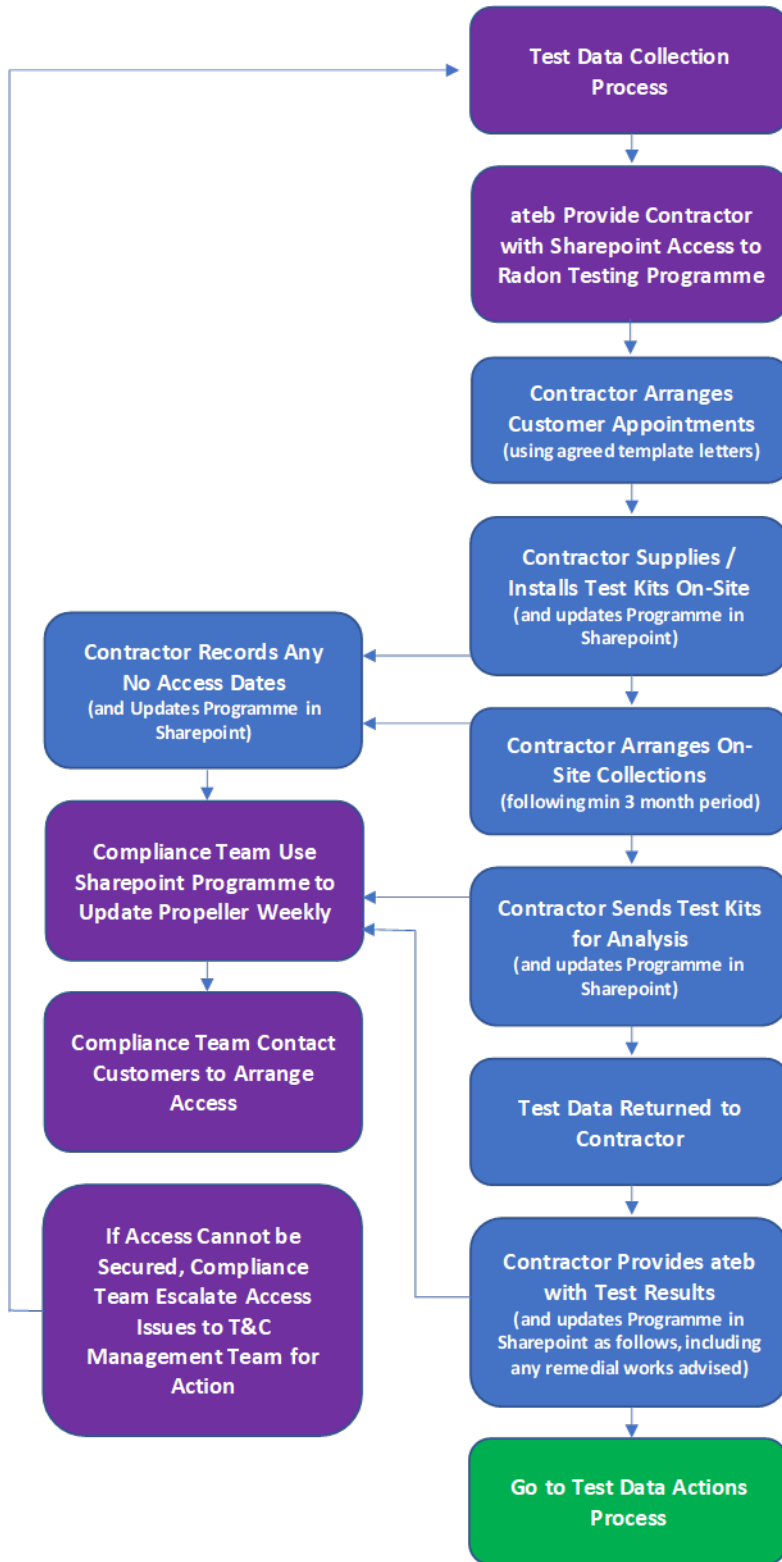
Related Documents or Supported Guidance

- Radon Policy.
- Asset Management Strategy.
- Public Health England Guidance.

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Appendix 1.

Test Data Collection Process



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Appendix 2. Test Data Actions Process

